

POOL GENERAL NOTES

- All reinforce steel to conform to A.S.T.M. A615 grade 60 and all floor & walls of pool to be pneumatically applied concrete with a min. 28 day compressive strength of 4000 p.s.i.
- All piping, materials and equipments used in the plumbing system of swimming pools shall conform to the Florida Building Code 2010 edition "Plumbing" and Florida Building Code 2010 edition "Residential", Chapter 41 installed in accordance with the manufacturer's installation standards.
- "Caution" prior to excavation the contractor is responsible for contacting the necessary personnel for locating any and all utilities that may exist. Call Sunshine State One Call prior to digging for verification of locations.
- The pool contractor responsibility to protect existing structures from failure by sheathing and/or shoring, or other methods as required. The design engineer takes no responsibility for the safety of existing structures.
- The design engineer takes no responsibility for pool construction in easements, reservations areas or required setback areas. Pool contractor and/or owner shall verify all shown dimensions in the field and establish lot lines prior to construction.
- The contractor shall verify all quantities and details shown on the drawings from the engineer and shall notify of all omissions, errors, conflicts and discrepancies found therein, failure to discover or to correct errors, conflicts or discrepancies shall not relieve the contractor full responsibility for unsatisfactory work, faulty construction or improper operation resulting there from, nor from rectifying such condition at his own expense.
- At the site contractor must verify existing utility locations, off-sets and elevations (soft-dig) prior to star construction, minimum clearance dimensions shall be held and shall be as required by the local regulatory agency. "Caution" Hold a distance of 10 feet minimum from overhead electric lines to pool's water edge.
- The contractor bears full responsibility for all maintenance of private property and safety of the public as relates to his work.
- All pool screened enclosures and fences shall conform to the barrier requirements of Florida Building Code 2010 edition "Residential", Chapter 41, Section R4101.17 and Florida Building Code 2010 edition "Building", Chapter 4, Section 424.2.17 for residential (private) swimming pools and with the barrier requirements of Section 8C-4 of Chapter 8C of the Miami Dade County code. Safety Pool covers shall conform to the requirements of NSF/ASTM F 1348.
- Where pools abut or are placed near sea wall or bulkheads, special care shall be employed. The walls shall be in good condition, not permitting any shifting or removal, or loosening of the supporting soil away from the pool. If the walls do not fully contain the soils behind them, they shall be replaced or repaired. Continual maintenance of the walls is required by the property owner. When excavating for the pool, the sea-wall setbacks shall not be cut.
- The contractor shall backfill pool shell with caution. The plumbing shall not be disturbed. Backfill shall be performed with clean sand, free of organic materials and shall be placed in 12 inch thick layers. Each layer shall be compacted to 90% of the soils maximum density by tamping solidly. Soils below the deck shall be placed in similar manner. Where decks are indicated by others, the deck design notes shown on the typical section do not apply. Deck design shall be by others. Do not drain pool under high ground water or storm conditions.
- Do not empty pool after construction for repairs or any other reason before consulting with a pool design company or pool repair contractor. Hydrostatic uplift pressures must be eliminated to prevent pool from floating above ground, and causing damage to the structural integrity of the pool.
- Filter backwash shall comply with the Florida Building Code 2010 edition, "Residential", Chapter 41, and Section R4101.20 "Filters" and Florida Building Code 2010 edition, "Building", Chapter 4, Section 424.1.6.5.5, "Filters".
- Pool Waste Water Disposal shall comply with Florida Building Code 2010 edition, "Building", Chapter 4, Section 424.2.10 "Waste Water Disposal".
- The gas piping system will be design by the gas company serving in the area of this project and shall be comply with the Florida Building Code 2010 edition "Fuel Gas" in accordance with the manufactures recommendations.
- Electrical Wiring and equipment shall comply with the Florida Building Code 2010 edition, Chapter 27 "Electrical".
- Install wiring and devices as indicated in pool data shall furnished electrical service at existing entry. Install disconnect switch at motor if not within 50' of fused switch at service point. Electrical light connection to comply with nec 660-1575 art. 660. Most up-to-date edition or revision... All metallic conduits, piping system, reinforcing steel, lighting fixtures and fixture housing, metal parts of ladders, and their supports, shall be bonded together and grounded to a common ground. Bonding conductors shall not be smaller than #8 copper. No overhead open wire over pool water. Receptacles to be located minimum 10' of edge of water.
- Pool light to be grounded to common bonding grid consisting of (1) #8 continuous copper wire looped around pool perimeter. Loop shall be grounded to panel via pool wall steel, deck reinforcing, and pump motor casing.
- Temperature of spa water shall be set so that maximum water temperature does not exceed 102 degrees Fahrenheit.
- For design purposes has been utilized a bearing value of 2000 psf typical of a soil with combination of undisturbed sand and limerock. A letter will be submitted after the pool has been excavated attesting that the soil conditions are similar or better to the used in design.
- All trades shall have slip-resisting surfaces per ANSI 6.1.5
- Swimouts shall comply with the Florida Building Code 2010 edition, "Residential", Chapter 41, Section R4101.18 and with Florida Building Code 2010 edition, "Building", Chapter 4, Section 424.1.2.5.4, "Swimouts"
- This pool has been designed to all applicable requirements of the Florida Building Code 2010 edition, "Residential", Chapter 41 and Florida Building Code 2010 edition, "Building", Chapter 4, Section 424

STATEMENT OF THE ENGINEER

This plan remains the property of the design engineers. It is not transferable from one contractor to another without the written permission of the design engineers.
his plan was prepared under my direction and to the best of my knowledge and belief complies with the intent of "The Florida Building Code, latest version and revisions in conjunction with the cities minimum standards-requirements
-Not valid without embossed seal.
-We have used the latest information available to show all existing utilities, however the engineer takes no responsibility for any inaccuracies in the locations shown.

POOL SPECIFICATION

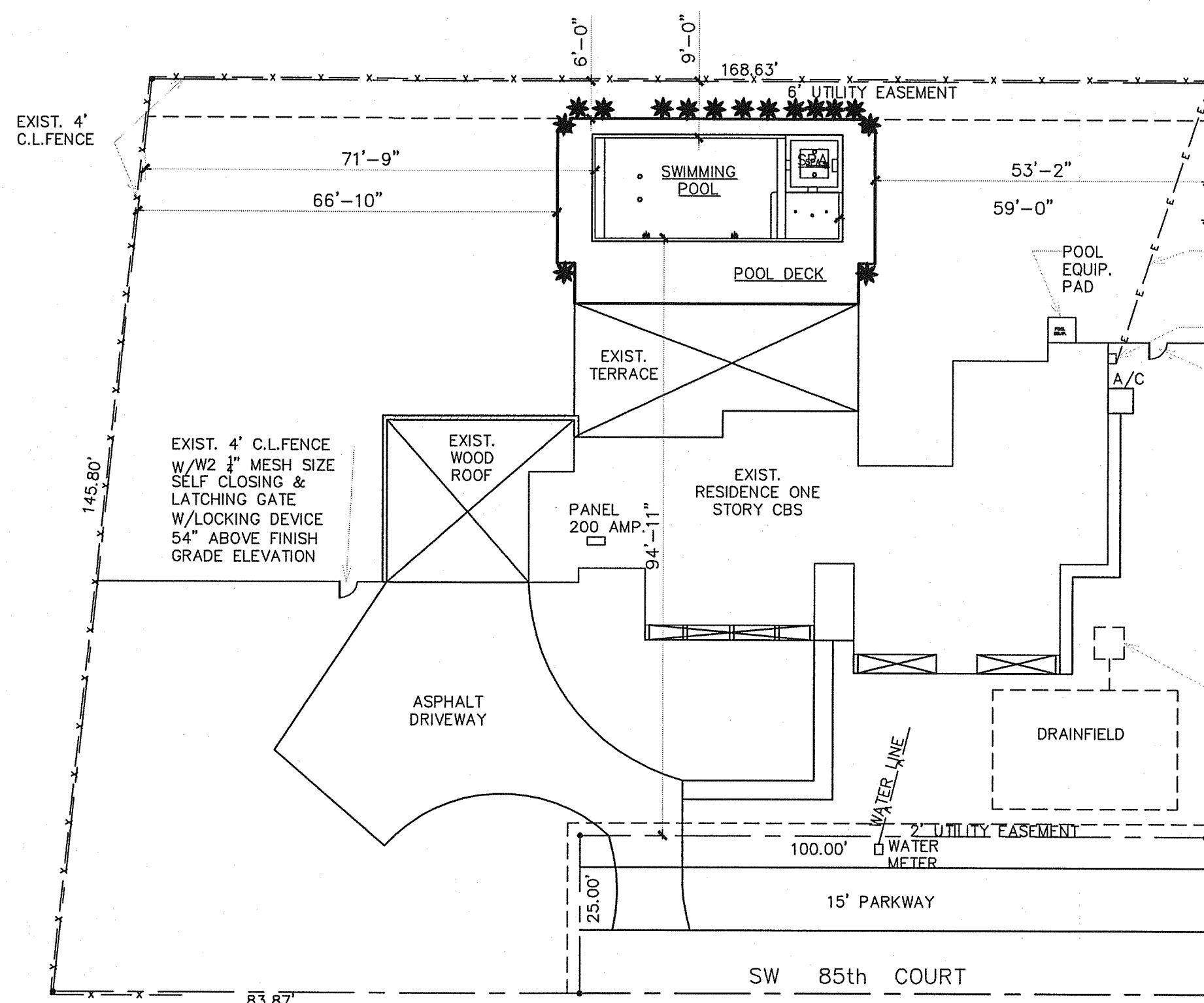
Pool Size (FT): 39' x 16'
Deep End (FT): 5'
Shallow End (FT): 3'
Pool Area(SF): 549 SF
Pool Perimeter(LF): 110 LF
Pool Volume (GAL): 16,470 GAL
Turnover Rate(HR): 2.88 HR
Interior Finish: DIAMOND BRITE
Waterline Tile: 6"
Coping: B/N BRICK
Pump Size (HP): 2 HP
Filter System & Size: 340 SF CARTRIDGE
Inlets: 3 WALL & 2 FLOOR
Maindrains: ONE
2" Vacuum Line w/ Safety Lock ONE
Skimmer: ONE
Light: (2) 54 W, 12 V LED
Patio Finish & Size: 1665 sf CONC. DECK
Deck Drains (LF): NONE
Others Items:
1. SALT SYSTEM
2. 5 HP HEAT PUMP

SPA SPECIFICATIONS:

Spa Size (FT): 7.5' x 7.5'
Spa Area(SF): 56 SF
Spa Perimeter(LF): 30 LF
Spa Volume (GAL): 840 GAL
Turnover Rate(HR): 0.14 HR
Spa Pump Size (HP): NONE
Filter System & Size: NONE
Spa Raised: 12"
Jets: 6
Overflow: 2
Maindrains: ONE
Automatic Surface Skimmer: NONE
Underwater Safety Light: 35 W, 12 V LED
Spa Miscellaneous Items:
1. 2 HP AIR BLOWER
2.

SAFETY BARRIER REQUIREMENTS :

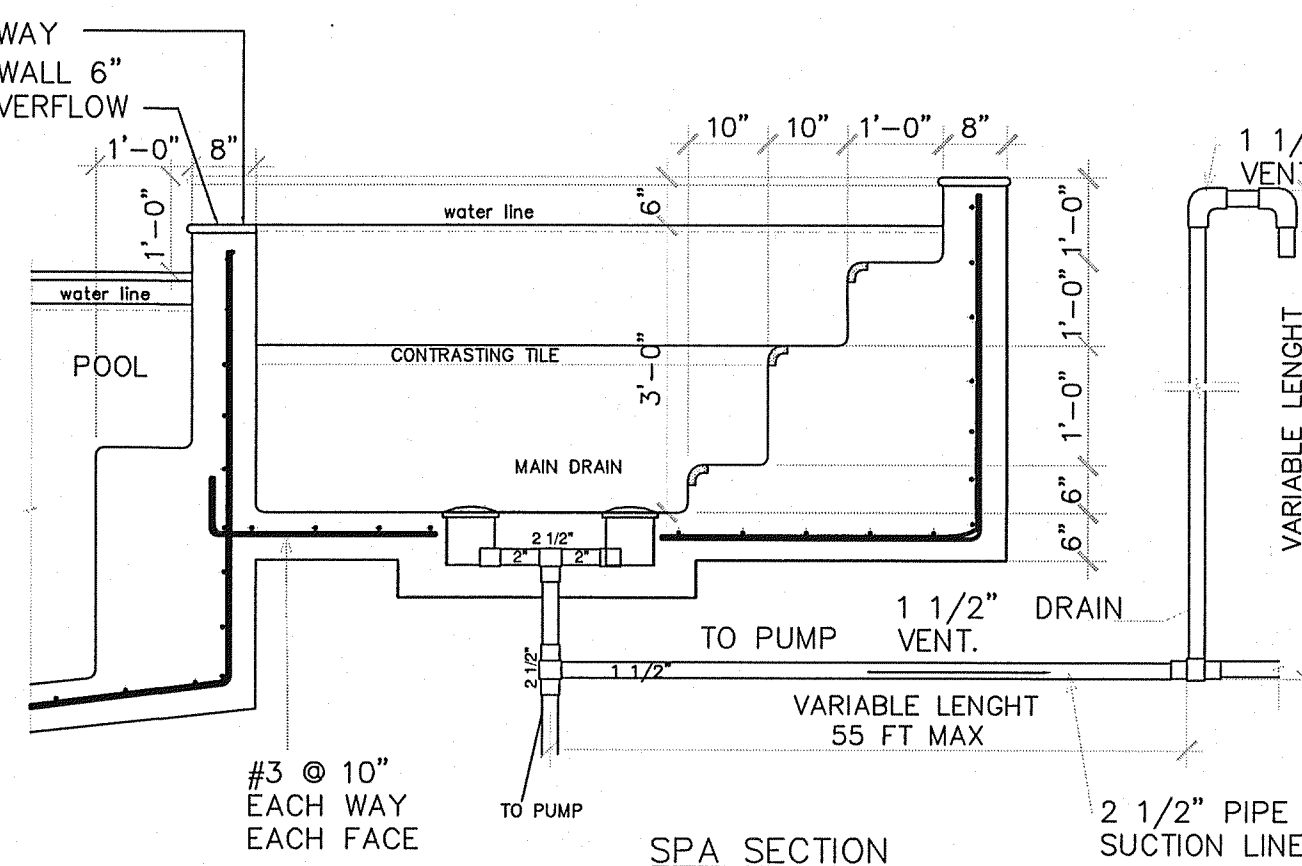
ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL/JACUZZI SHALL BE EQUIPPED WITH AN ALARM COMPLYING WITH UL-2017 THAT HAS A MINIMUM SOUND PRESSURE RATING OF 85 db A AT 10 FEET - FBC R4101.17.1.9.1. ALARM WHICH PRODUCES AN AUDIBLE WARNING WHEN THE DOOR AND ITS SCREEN ARE OPENED. THE ALARM SHALL SOUND CONTINUOUSLY FOR A MINIMUM OF 30 SECONDS IMMEDIATELY AFTER THE DOOR IS OPENED AND BE CAPABLE OF BEING HEARD THROUGHOUT THE HOUSE DURING NORMAL HOUSEHOLD ACTIVITIES. THE ALARM SHALL AUTOMATICALLY RESET UNDER ALL CONDITIONS. THE ALARM SHALL BE EQUIPPED WITH A MANUAL MEANS TO TEMPORARILY DEACTIVATE THE ALARM FOR A SINGLE OPENING. SUCH DEACTIVATION SHALL LAST NO MORE THE 15 SECONDS. THE DEACTIVATION SWITCH SHALL BE LOCATED AT LEAST 84 INCHES ABOVE THE THRESHOLD OF THE DOOR.



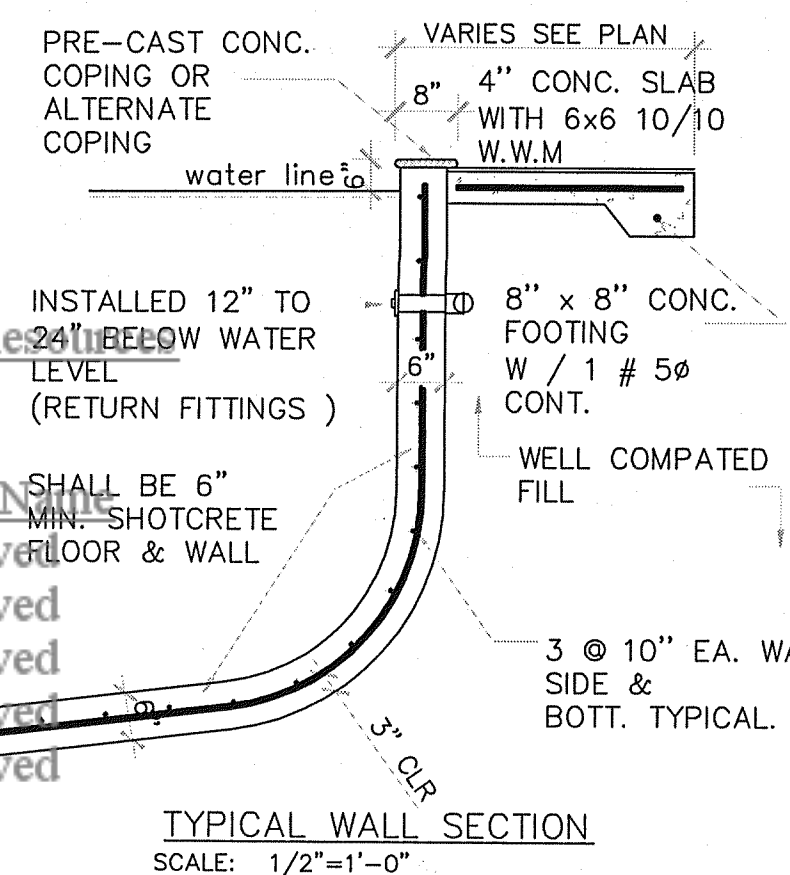
SITE PLAN 1" = 20'-0"

LEGAL DESCRIPTION :
LOT 6 BLOCK 2 OF "KINGS CREEK NORTH SEC 3" SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 99, PAGE 5, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

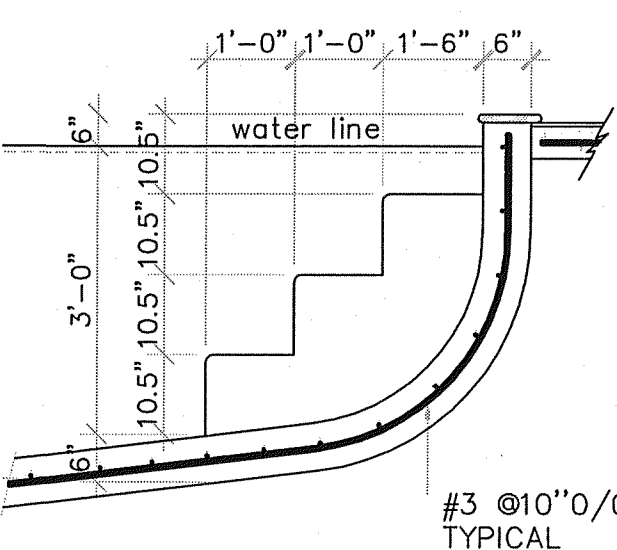
SOIL STATEMENT
IN ORDER TO CONSTRUCT THE SWIMMING POOL IN QUESTION, AND AFTER INSPECTING THE GROUND SURFACE, I OBSERVED A SILTY AND CLAYEY GRAVEL TYPE OF SOIL WITH A DESIGN-BEARING CAPACITY OF 2000 PSF. AFTER GROUND HAS BEEN BROKEN I WILL CONFIRM THAT THIS IS THE CASE THROUGH THE SUBMITTAL OF ANOTHER LETTER SHOULD THE INSPECTOR REQUEST IT. SUCH LETTER WILL ATTEST THAT SOIL CONDITIONS ARE SIMILAR TO THE ONES DESCRIBED IN TABLE 1804.2 OF THE FLORIDA BUILDING CODE: BUILDING CHAPTER. BASICALLY THIS IS A SOIL PRESENTING MATERIALS SUCH AS SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL AND CLAYEY GRAVEL.



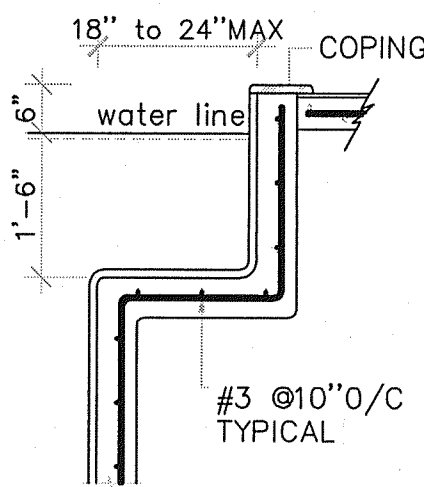
SPA SECTION
SCALE: 1/2"=1'-0"



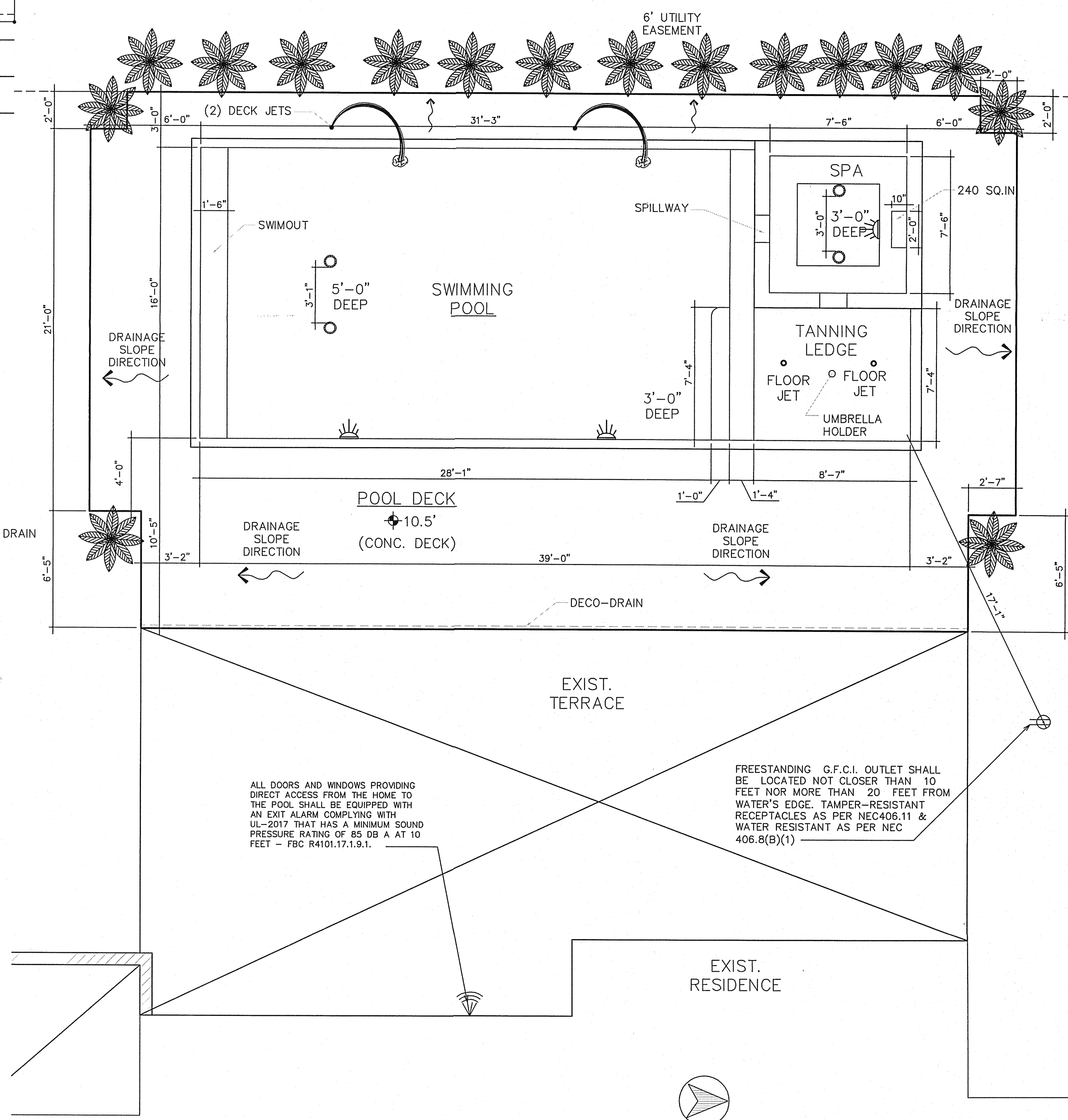
TYPICAL WALL SECTION
SCALE: 1/2"=1'-0"



TYPICAL STEPS DETAIL
SCALE: 1/2"=1'-0"



SWIMOUT DETAIL
SCALE: 1/2"=1'-0"



POOL LAYOUT PLAN 1/4"=1'-0"

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PROJECT:	LOT:	BLOCK:	OWNER PHONE:
Mr. & Mrs. BROE			
PROJECT ADDRESS: 7830 SW 85 CT, MIAMI FL			
OWNER: Mr. & Mrs. BROE			
OWNER ADDRESS: 7830 SW 85 CT, MIAMI FL			

project number:

sheet title
SITE PLAN & LAYOUT PLAN

revisions

issued for:

issue date:

11-26-12

drawn by:

T.P.

approved by:

T.P.

scale:

AS INDICATED

EMILIANO OROZCO, P.E.
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(786) 715 7125

sheet number

SP-1

sheet:

1 of 2